

PRICE RESIDENCE

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CONTACTS

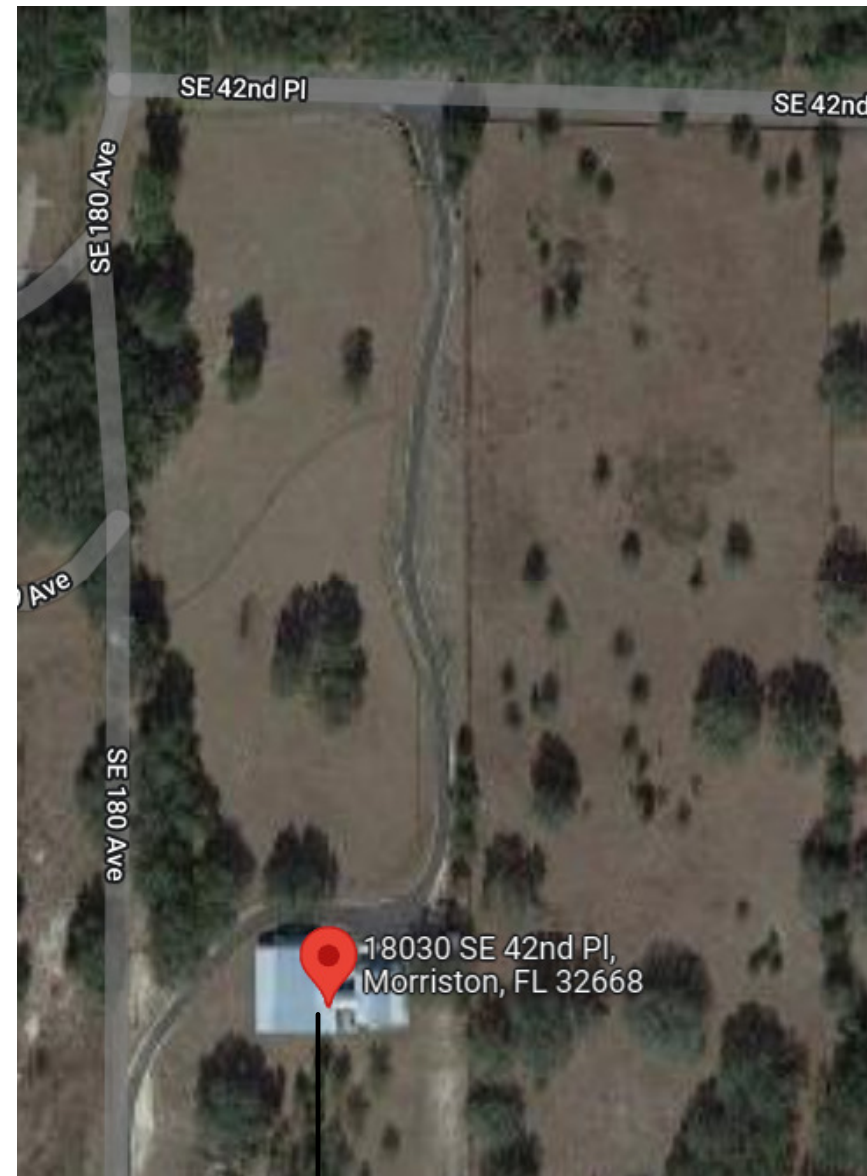
LOCATION MAP

PROJECT INTERIOR VIEW

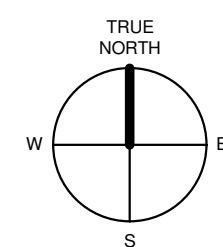
NUMBER	SHEET NAME
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OWNER: SUSANA PRICE
18030 SE 42ND PL,
MORRISTON FL 32668

DESIGNER: KATIE LAWRENCE
KLAWRANCEDESIGN@GMAIL.COM
KATIELAWRENCE.COM



SITE LOCATION
PARCEL #: 0457500400



PRICE RESIDENCE
18030 SOUTHEAST 42 PLACE,
MORRISTON FL 32668

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LAWRENCE

SHEET CONTENTS:
TITLE / COVER
SHEET

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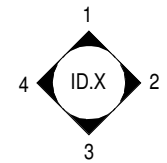



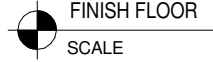

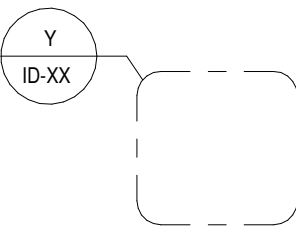
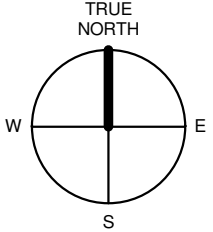
CS.1

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO PUBLIC WORKS STANDARDS AND SPECIFICATIONS. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER/ CONTRACTOR TO OBTAIN ALL PERMIT, AND UTILITY PERMITS, FROM THE CITY. ALL REQUIRED PERMITS FROM OTHER AGENCIES MUST ALSO BE OBTAINED BY THE DEVELOPER/CONTRACTOR.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE DEVELOPER/ CONTRACTOR SHALL ATTEND A PRECONSTRUCTION CONFERENCE WITH THE CITY AND MUST SUBMIT AND RECEIVE APPROVAL FOR THE TRAFFIC CONTROL PLAN, CITY PERMITS, TEMPORARY EROSION AND SEDIMENT CONTROL PLAN, PERFORMANCE BOND, COPY OF OTHER AGENCY PERMITS, A COPY OF THE CONTRACTORS LICENSE, AND PROOF OF INSURANCE COVERAGE.
- A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHEN CONSTRUCTION IS IN PROGRESS.
- ALL SITE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE PRIOR APPROVAL FROM THE OWNER, THE CITY ENGINEER, AND OTHER APPROPRIATE PUBLIC AGENCIES.

- ALL OF THE LOCATIONS OF THE EXISTING UTILITIES SHOWN IN THE PLANS HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHALL THEREFORE BE CONSIDERED APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS.
- INSPECTION AND ACCEPTANCE OF ALL WORK SHALL BE ACCOMPLISHED BY REPRESENTATIVES OF THE CITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE REMOVAL AND REPLACEMENT OF ITEMS THAT DO NOT MEET CITY STANDARDS OR WERE CONSTRUCTED WITHOUT INSPECTION.
- THE CONTRACTOR SHALL KEEP THE ON-SITE AND OFF-SITE STREETS CLEAN AT ALL TIMES BY CLEANING WITH A SWEEPING AND/OR VACUUM TRUCK. WASHING OF THESE STREETS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY INSPECTOR.
- THE CONTRACTOR SHALL MAINTAIN TWO (2) SETS OF "AS BUILT" PLANS SHOWING ALL FIELD CHANGES AND MODIFICATIONS. IMMEDIATELY AFTER CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL DELIVER BOTH COPIES OF REDLINED PLANS TO THE CITY. THE CITY WILL FORWARD ONE OF THE COPIES TO THE INTERIOR DESIGNER.

SYMBOLS LEGEND

	INTERIOR ELEVATION INDICATION		DOOR TAG
	MATERIAL TAG		WINDOW TAG
	LEVEL TAG		FURNITURE TAG
	CALL OUT TAG		NORTH ARROW

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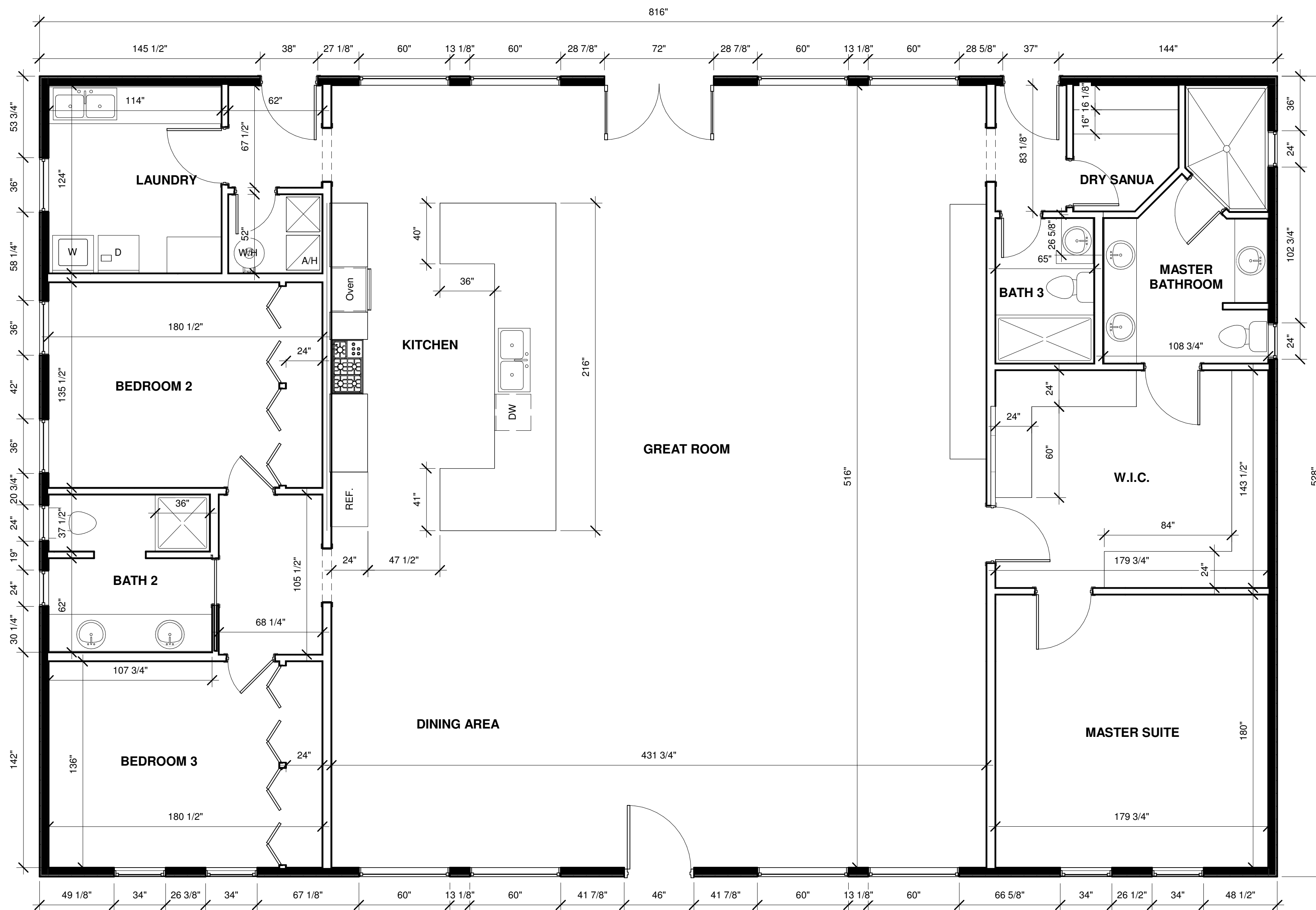
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SHEET CONTENTS:
 EXISTING FLOOR
 PLAN

SHEET:

D.I



① EXISTING FIRST FLOOR
 1/4" = 1'-0"

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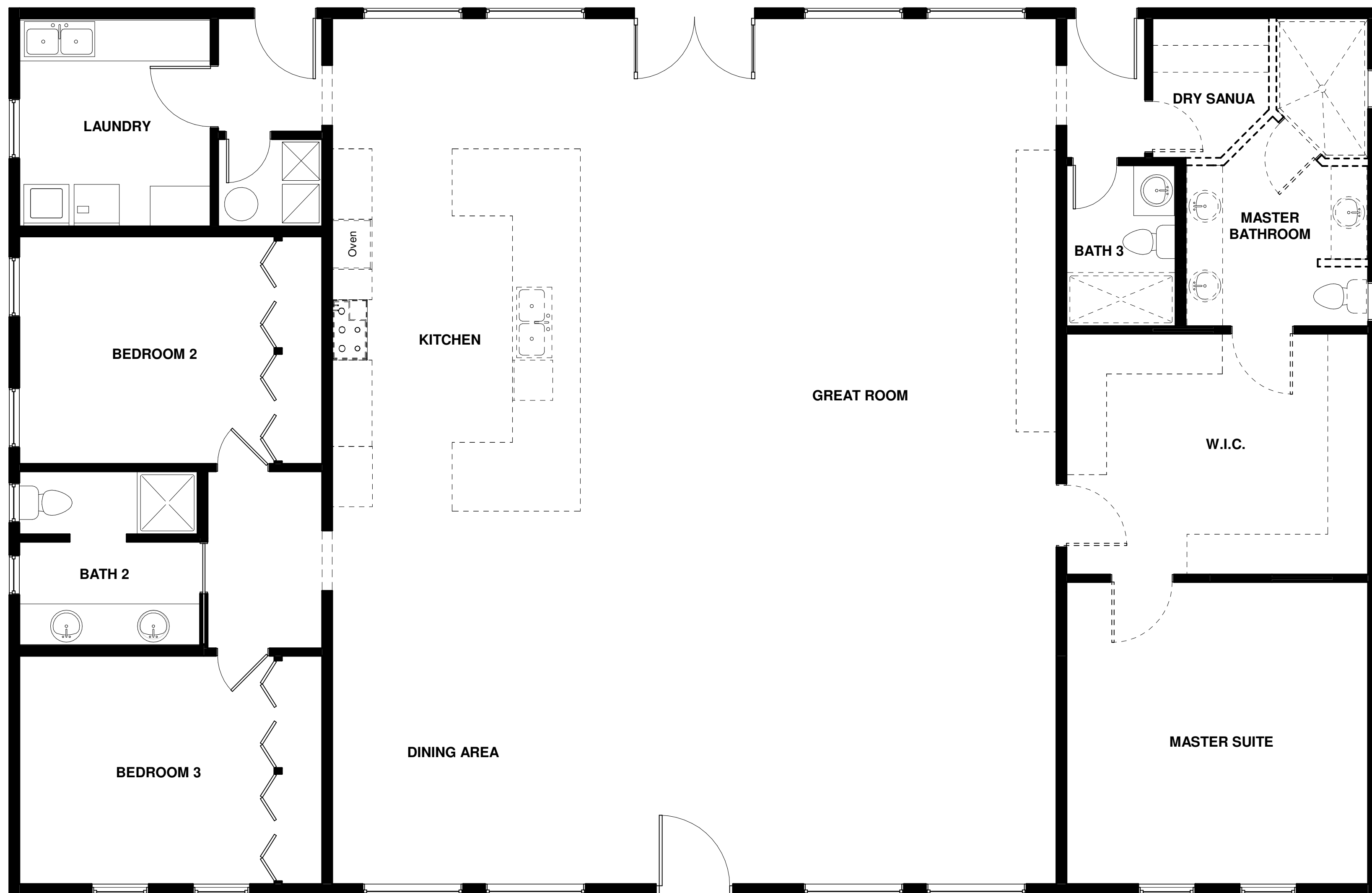
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SHEET CONTENTS:
 DEMO PLAN

SHEET:

D.2



② DEMO FIRST FLOOR
 1/4" = 1'-0"

NOTES:

1. CONTRACTOR MUST PROTECT ALL SURFACES AND SURROUNDING AREAS
2. CONTRACTOR MUST PROTECT AND PRESERVE ALL ADJACENT WALLS TO REMAIN.
3. REMOVE ALL EXISTING FINISHED & REPAIR & PREPARE ALL SURFACES FOR FINISHES.
4. FURNISH, INSTALL, AND MAINTAIN IN SAFE CONDITIONS AT ALL TIMES. TEMPORARY PROTECTION REQUIRED TO ENSURE SAFETY FOR PERSONS AND PROPERTY DURING DEMOLITION WORK.
5. REMOVE EXISTING ELECTRICAL OUTLETS AND WIRING AS REQUIRED IN WALLS, FLOORS, AND FURNISHINGS TO BE DEMOLISHED.
6. ALL WALLS, DOORS, WINDOWS, FURNISHINGS & EQUIPMENTS DENOTED WITH DASHED LINES ARE TO BE REMOVED.

LEGEND

- EXISTING WALLS TO REMAIN
- - - - -** EXISTING ITEMS TO BE REMOVED

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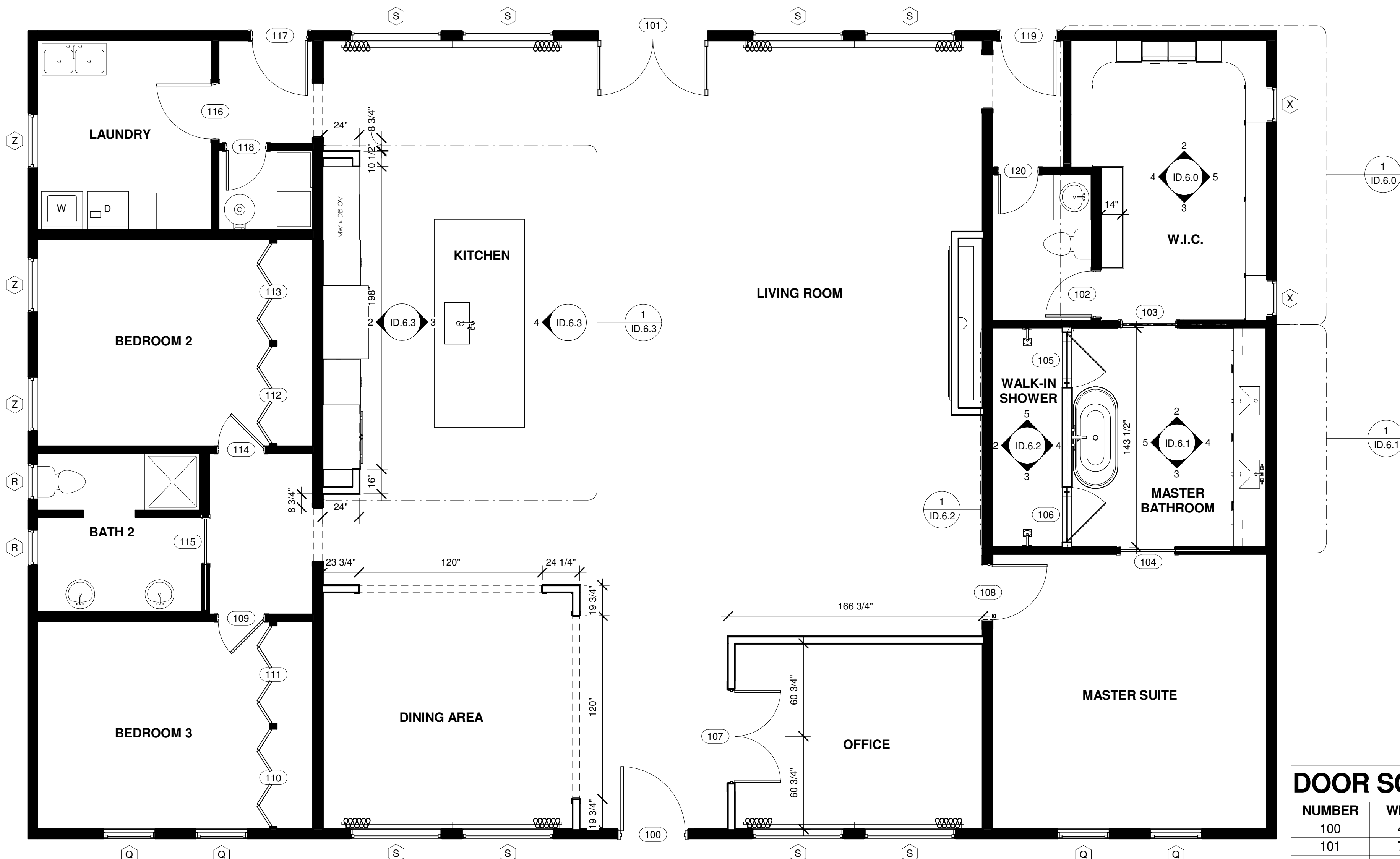
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SHEET CONTENTS:
PARTITION PLAN

SHEET:

10.1



1 PARTITION PLAN
1/4" = 1'-0"

WALL LEGEND

- EXISTING WALLS
- ADD NEW WALLS - TYPE 1 (SEE ID.8)

- NOTES:
- DIMENSIONS ARE NOT ADJUSTABLE U.N.O. UNLESS NOTED WITH A +/- SYMBOL. ONLY NORMAL INDUSTRY STANDARD TOLERANCES ARE ACCEPTABLE FROM INDICATED DIMENSION, AND THE DESIGNER MUST BE NOTIFIED.
 - BLOCKING TO BE LOCATED BEHIND ALL ACCESSIBILITY HARDWARE SUCH AS GRAB BARS.
 - ALL WORK SHOULD BE DONE IN ACCORDANCE WITH APPLICABLE CODES.

WINDOW SCHEDULE

NO	COUNT	TYPE	OPENING		TYPE
			WIDTH	HEIGHT	
Q	4	34" x 62"	34"	62"	Window-Double-Hung
R	2	24" x 48"	24"	48"	Double Hung with Trim
S	8	60" x 62"	60"	62"	Fixed with Trim
X	2	24" x 36"	24"	36"	Fixed
Y	1	9' x 2'	108"	24"	Fixed
Z	3	36" x 48"	36"	48"	Double Hung with Trim

DOOR SCHEDULE

NUMBER	WIDTH	HEIGHT
100	42"	96"
101	72"	84"
102	30"	96"
103	36"	96"
104	36"	96"
105	36"	84"
106	36"	84"
107	60"	96"
108	36"	96"
109	30"	96"
110	64"	84"
111	64"	84"
112	64"	84"
113	64"	84"
114	30"	96"
115	30"	96"
116	36"	96"
117	36"	96"
118	26"	96"
119	36"	96"
120	26"	96"

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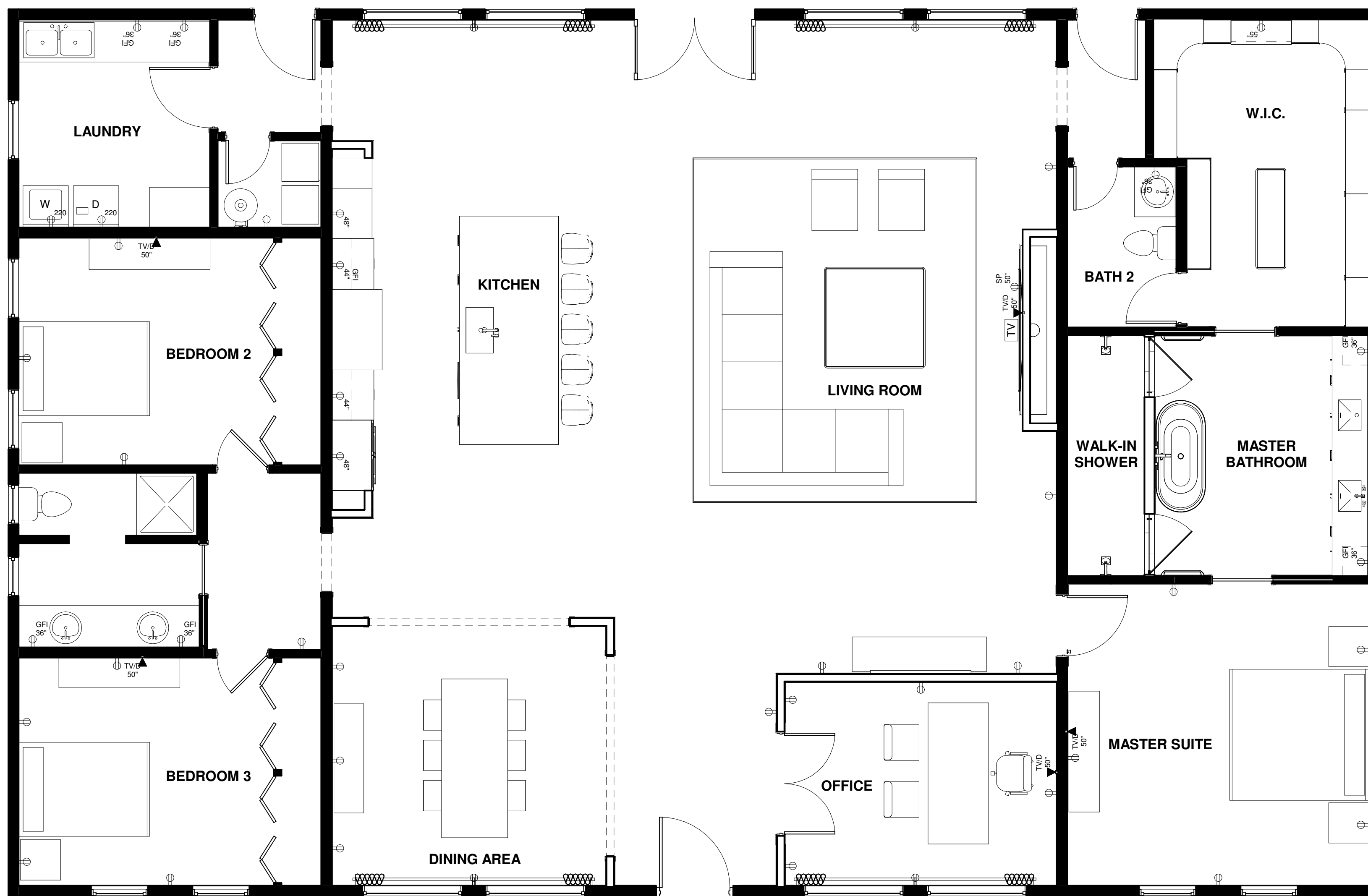
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SHEET CONTENTS:
 POWER PLAN

SHEET:

10.2



1 POWER PLAN
 1/4" = 1'-0"

SYMBOL LEGEND	
	DUPLEX OUTLET
	DUPLEX GFI OUTLET
	DUPLEX 220V OUTLET
	DUPLEX SURGE OUTLET
	DATA/COAX TV OUTLET
	83" TV

NOTES:

1. ALL OUTLETS 16" AFF U.N.O.
2. ALL EQUIPMENT SHALL BE U.L. LISTED
3. INSTALLATION OF ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, ORDINANCES AND REGULATIONS.
4. ALL APPLIANCES WILL BE ON DEDICATED CIRCUITS
5. ALL WET AREA OUTLETS WILL BE GFCI PROTECTED
6. ALL ELECTRICAL WORK TO CURRENT NEC CODE

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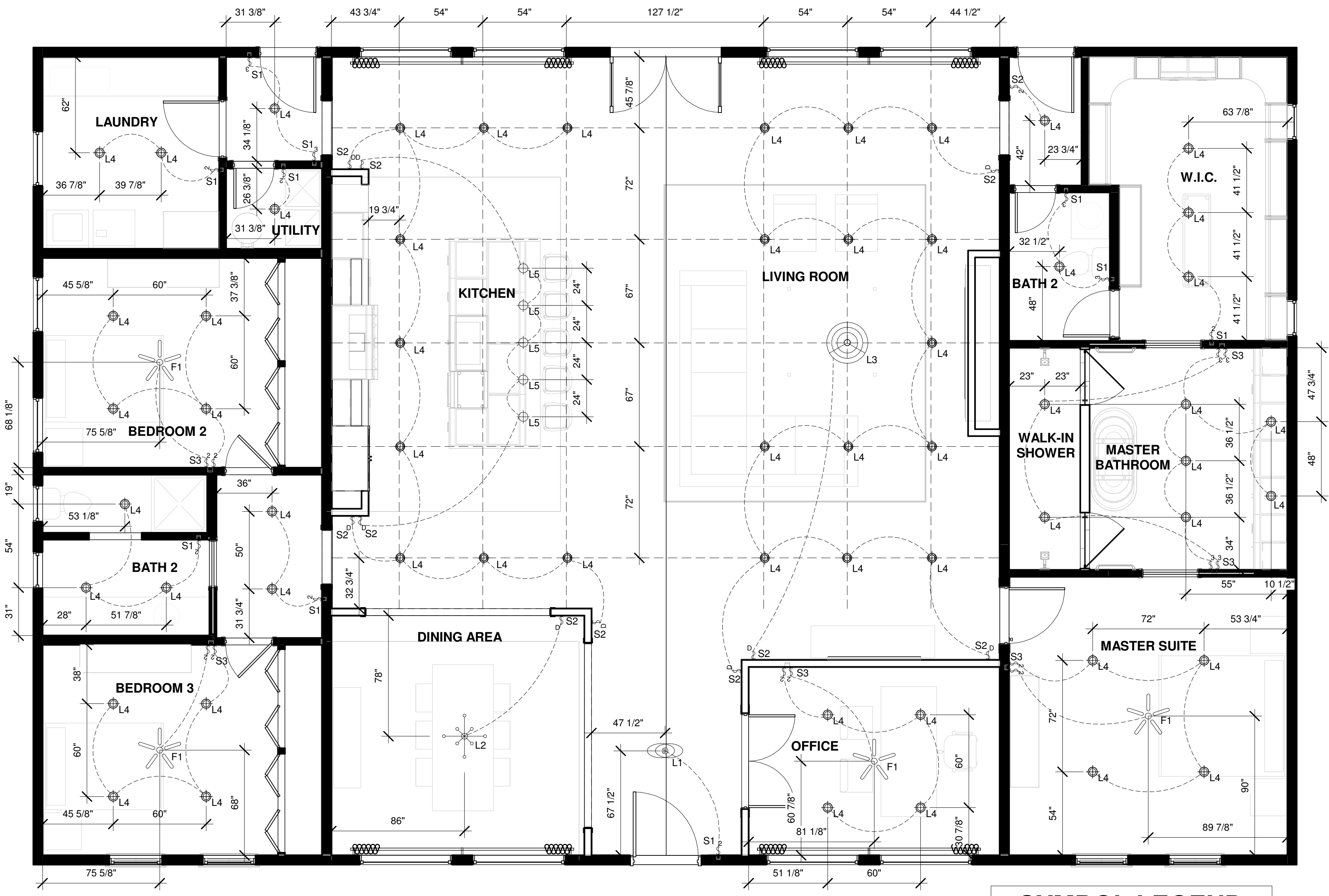
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SHEET CONTENTS:
RCP

SHEET:



1 RCP FIRST FLOOR
1/4" = 1'-0"

- NOTES:**
1. ALL CEILINGS AT 12' U.N.O.
 2. ALL SWITCHES AT 44" AFF U.N.O.
 3. ALL KITCHEN PENDANTS ARE 5' AFF
 4. ALL UNDERCOUNTER LIGHTS ARE 36" KORAN LED
 5. ALL ELECTRICAL WORK TO CURRENT NEC CODE

LIGHTING FIXTURE SCHEDULE

NO.	QTY.	PART NO.	DESCRIPTION	MANUFACTURER
F1	4	54725	52" CEILING FAN	MERCER
L1	1	47086523	OVAL CHANDELIER LIGHT	STARLING
L2	1	57006589	SOLAR CHANDELIER	STARLING
L3	1	D5042	4 TIER CHANDELIER LIGHT	LOHJA
L4	59	CER105	6" RECESSED PAR CAN	COMMERCIAL ELECTRIC
L5	5	PM32SA-PG01 (26wPLT)	PENDANT LIGHT	PHILIPS
S1	10	5603-2W	1 GANG LIGHT SWITCH	LEVITON
S2	11	HQWD-W5BRL-XX	5 BUTTON KEYPAD SWITCH	LUTRON
S3	6	5603-2D	2 GANG LIGHT SWITCH	LEVITON

SYMBOL LEGEND

	CEILING FAN
	CIRCLE PENDANT LIGHT
	SOLAR PENDANT LIGHT
	DIMMER CONTROL PANEL
	2 WAY LIGHT SWITCH
	3 WAY LIGHT SWITCH
	6" PAR CAN LIGHTING
	PENDANT LIGHT
	OVAL PENDANT LIGHT

10.3

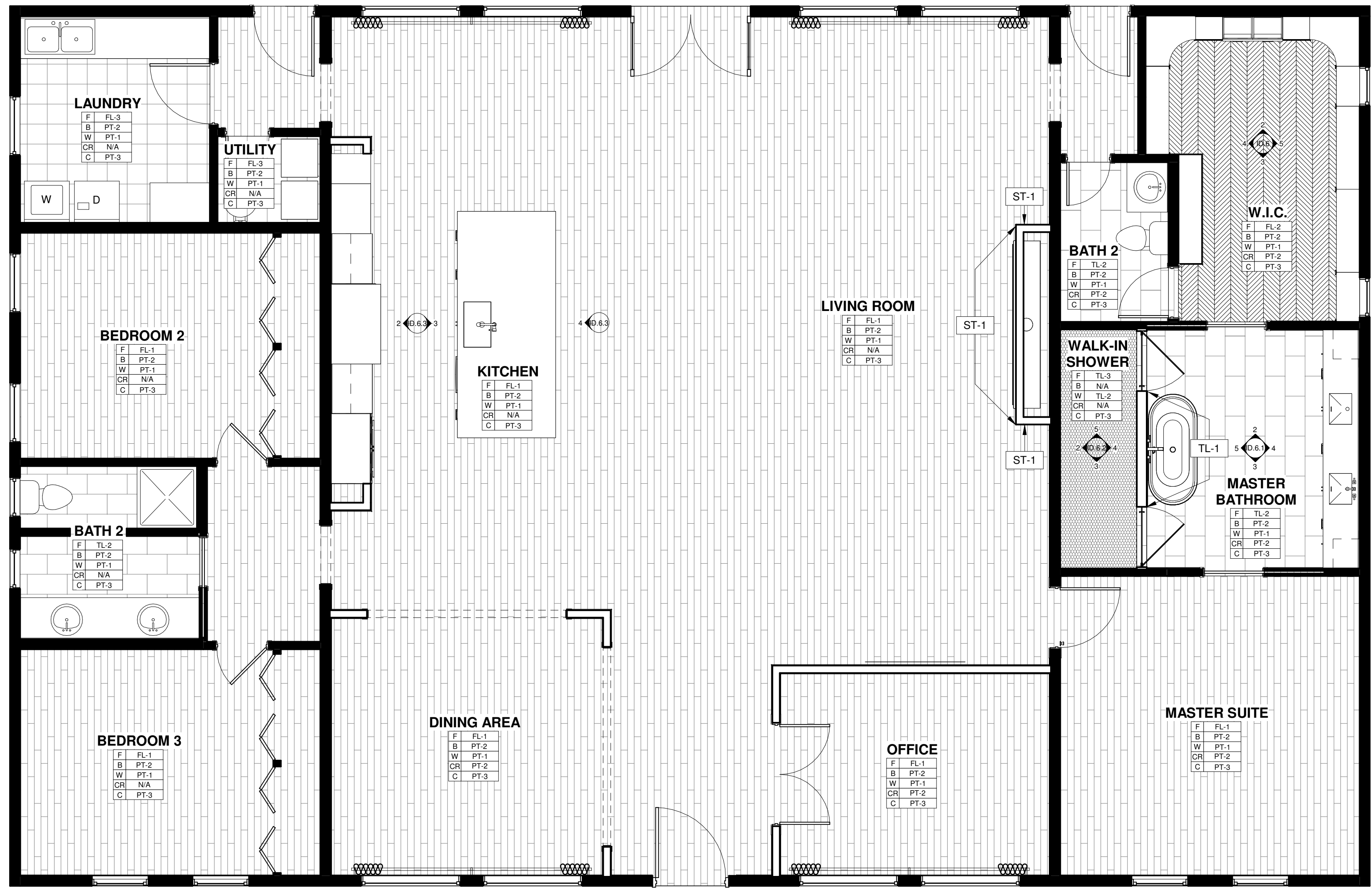
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SHEET CONTENTS:
FINISH PLAN

SHEET:
ID.4



1 FINISH PLAN
1/4" = 1'-0"

- NOTES:**
1. ALL PARTITIONS TO BE PAINTED PT-1 U.N.O.
 2. ALL CEILINGS TO BE PAINTED PT-3 U.N.O.
 3. ALL FLOORING TRANSITIONS SHALL BE CENTERED UNDER THE DOOR IN ITS CLOSED POSITION.
 4. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL FINISHED FLOOR SURFACES, EXISTING OR NEW. INCLUDING BUT NOT LIMITED TO, TILE, CONCRETE, ETC. THROUGHOUT THE CONSTRUCTION PERIOD.
 5. ALL SUBSURFACES SHALL BE PROPERLY PREPARED BEFORE APPLICATION OF FINISHES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR SUBSTRATE CONDITIONS WHERE FINISHES ARE APPLIED.
 6. ALL PAINT TO BE NON VOC PAINT
 7. SEE PAGES ID.6.1 AND ID.6.3 FOR CABINET FINISH CALLOUT TAGS.

ROOM NAME	ROOM FINISH SCHEDULE					
	FLOORING	BASE	WALLS	CROWN	CEILING	HEIGHT
BATH 2	TL-2	PT-2	PT-1	N/A	PT-3	120"
BATH 2	TL-2	PT-2	PT-1	PT-2	PT-3	120"
BEDROOM 2	FL-1	PT-2	PT-1	N/A	PT-3	120"
BEDROOM 3	FL-1	PT-2	PT-1	N/A	PT-3	120"
DINING AREA	FL-1	PT-2	PT-1	PT-2	PT-3	120"
KITCHEN	FL-1	PT-2	PT-1	N/A	PT-3	VAULTED
LAUNDRY	FL-3	PT-2	PT-1	N/A	PT-3	120"
LIVING ROOM	FL-1	PT-2	PT-1	N/A	PT-3	VAULTED
MASTER BATHROOM	TL-2	PT-2	PT-1	PT-2	PT-3	120"
MASTER SUITE	FL-1	PT-2	PT-1	PT-2	PT-3	120"
OFFICE	FL-1	PT-2	PT-1	PT-2	PT-3	120"
UTILITY	FL-3	PT-2	PT-1	N/A	PT-3	120"
W.I.C.	FL-2	PT-2	PT-1	PT-2	PT-3	120"
WALK-IN SHOWER	TL-3	N/A	TL-2	N/A	PT-3	120"

MATERIAL LEGEND			
TAG	PART NUMBER	DESCRIPTION	MANUFACTURER
FL-1	SKPL49L70LG	OAK PLANK HARDWOOD	BRUCE
FL-2	VMENDSEVCH11	OAK CHEVRON HARDWOOD	VIRGINIA MILL WORKS
FL-3	SL601212HD1P6	12" x 12" TILE	DALTILE
PT-1	SW 7657 - DURATION HOME	TINSMITH - SEMI-GLOSS	SHERWIN WILLIAMS
PT-2	SW 7757 - DURATION HOME	REFLECTIVE WHITE - SEMI-GLOSS	SHERWIN WILLIAMS
PT-3	SW 7005 - HARMONY	PURE WHITE - FLAT FINISH	SHERWIN WILLIAMS
PT-4	SW 6524 - DURATION HOME	COMMODORE - FLAT FINISH	SHERWIN WILLIAMS
ST-1	S855	BLUE STONE CLADDING	DALTILE
ST-2	SPECIAL ORDER	WHITE MARBLE SLAB	CALACATTA BORGHINI
TL-1	VH11	HEX TILE	DALTILE
TL-2	1001-0236-0	12" x 24" MARBLE TILE	STATUARIO
TL-3	VH10	SMALL HEX TILE	DALTILE
TL-4	VV10	WHITE SUBWAY TILE	DALTILE

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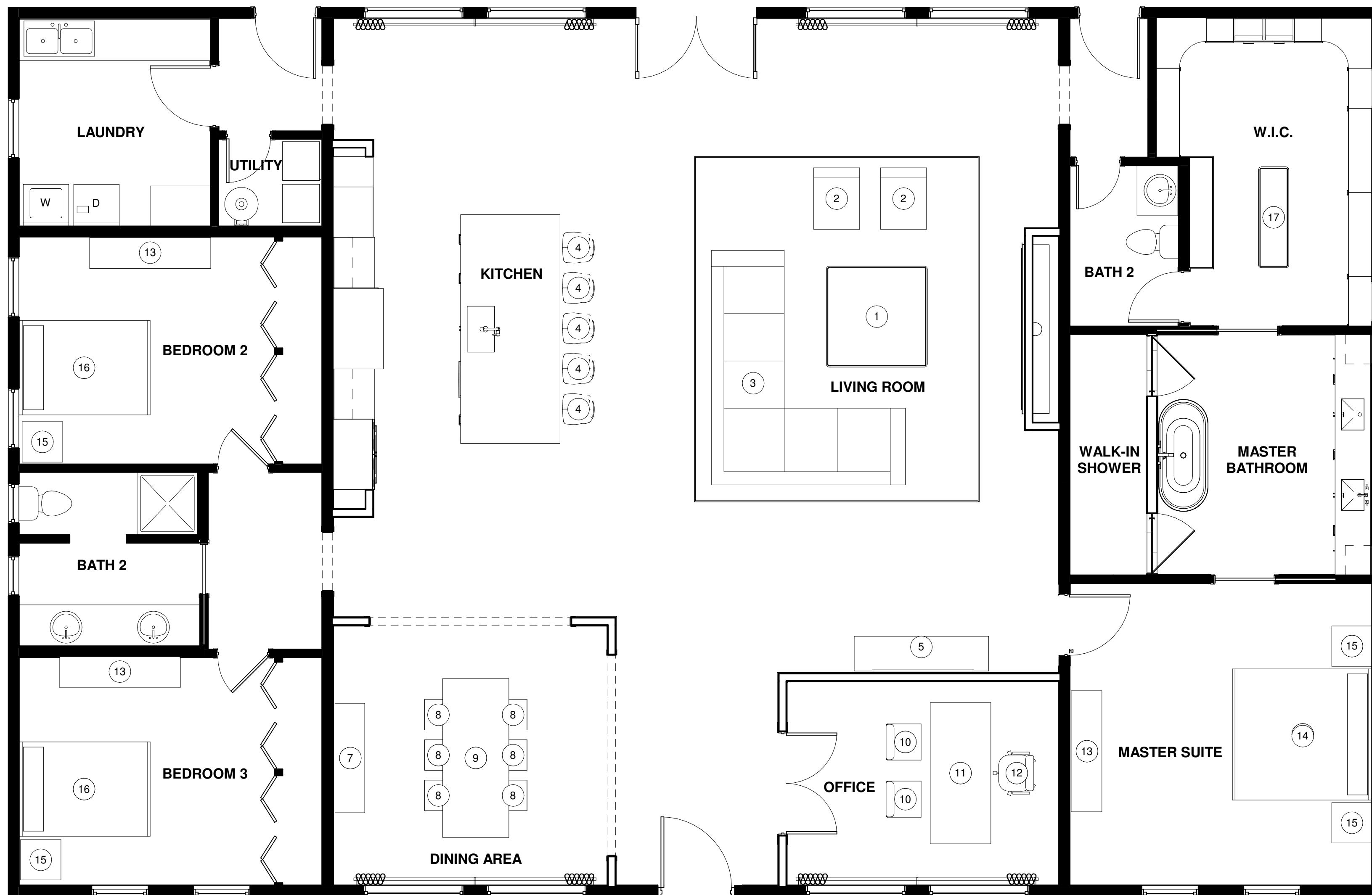
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SHEET CONTENTS:
FURNITURE PLAN

SHEET:

10.5



1 FURNITURE PLAN
1/4" = 1'-0"

FURNITURE SCHEDULE

NO.	QTY	PART NO.	DESCRIPTION	MANUFACTURER
1	1	K548458	BLUE LEATHER COFFEE TABLE	KNOLL
2	2	H44646	ARM CHAIR	HERMAN MILLER
3	1	H85858	SOFA SECTIONAL	HERMAN MILLER
4	5	H577576	BAR STOOL	HERMAN MILLER
5	1	K44666	CREDENZA	KNOLL
6	1	K67865	PAINTING	KNOLL
7	1	S774747	STORAGE	ATEELCASE
8	6	H7090	DINING CHAIR	HERMAN MILLER
9	1	H10101	DINING TABLE	HERMAN MILLER
10	2	K1231	TASK CHAIR	KNOLL
11	1	K3412	OFFICE DESK	KNOLL
12	1	K5012	EXECUTIVE CHAIR	KNOLL
13	3	S409	DRESSER	STEELCASE
14	1	S2145	KING BED	STEELCASE
15	4	S012	NIGHTSTAND	STEELCASE
16	2	S903	DOUBLE BED	STEELCASE
17	1	K00404	OTTOMAN BENCH	KNOLL

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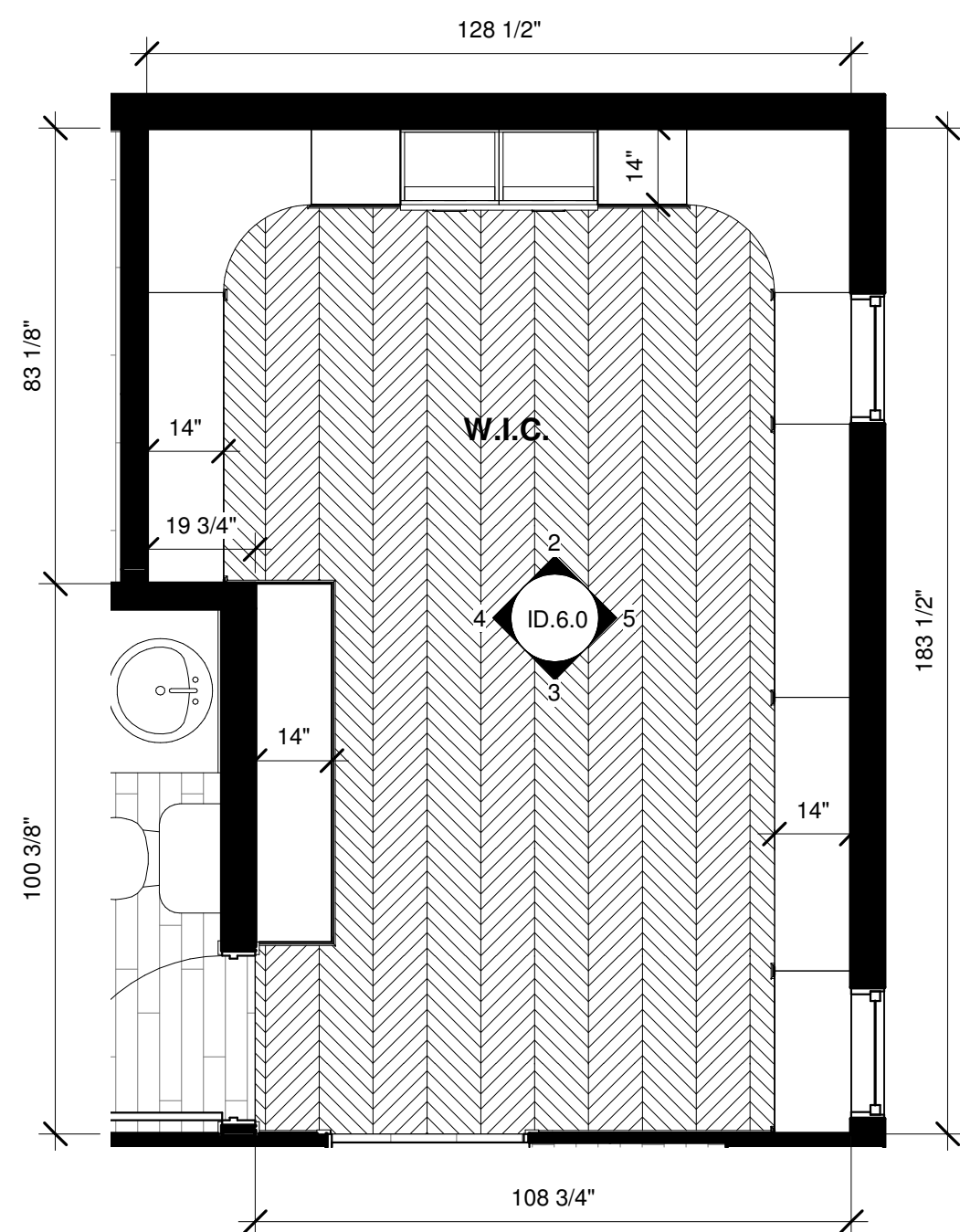
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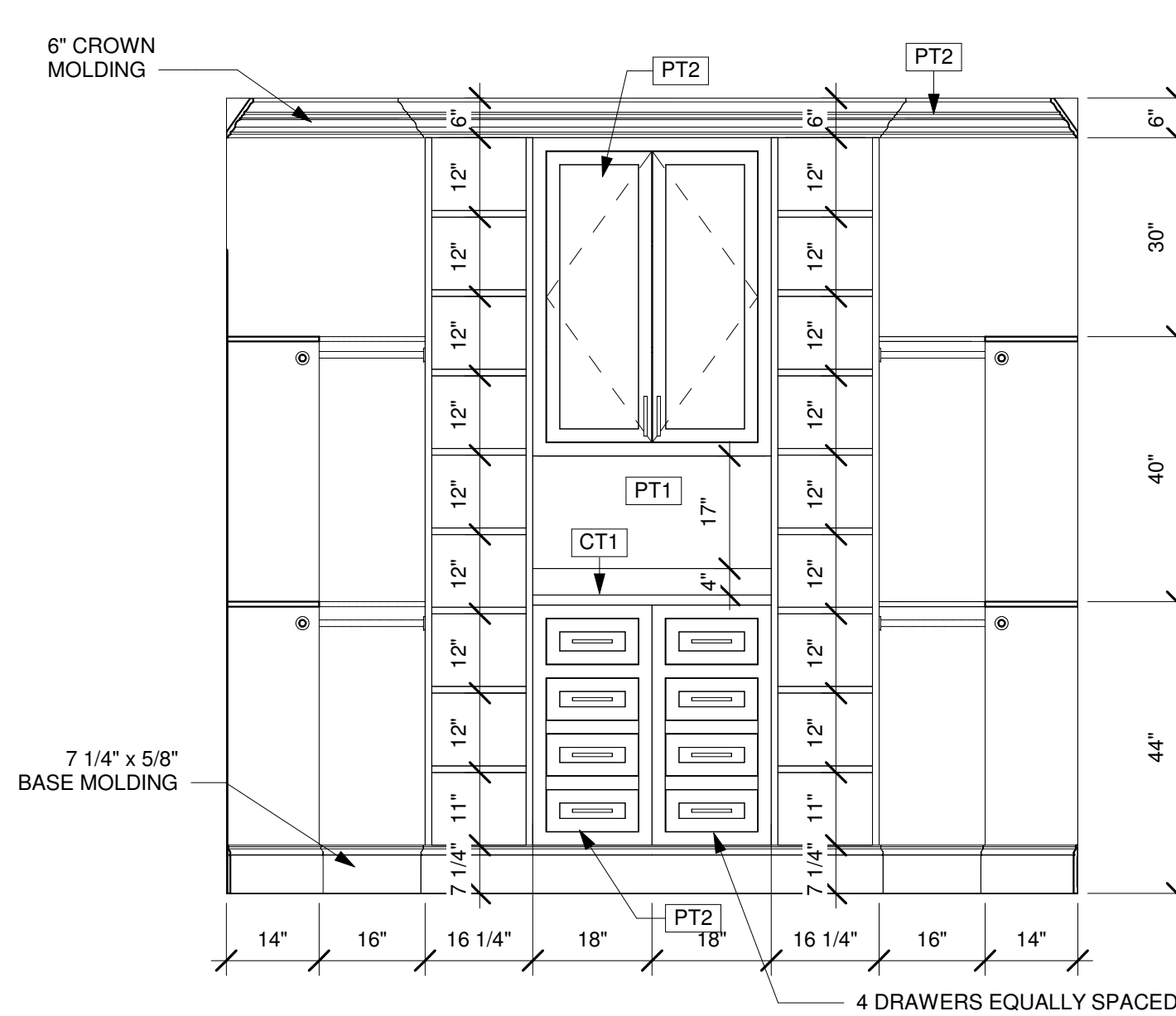
SHEET CONTENTS:
CLOSET
ELEVATIONS

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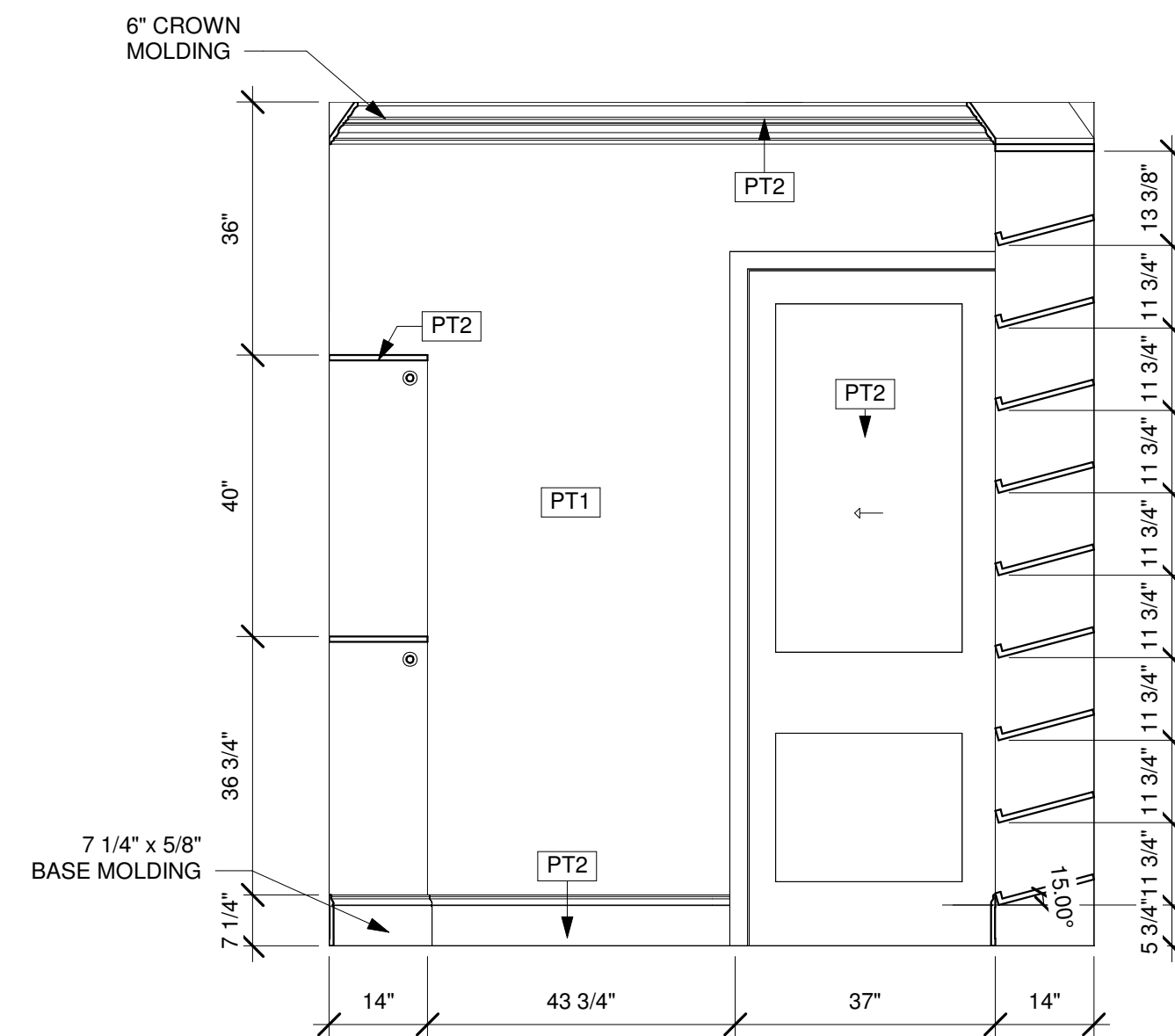
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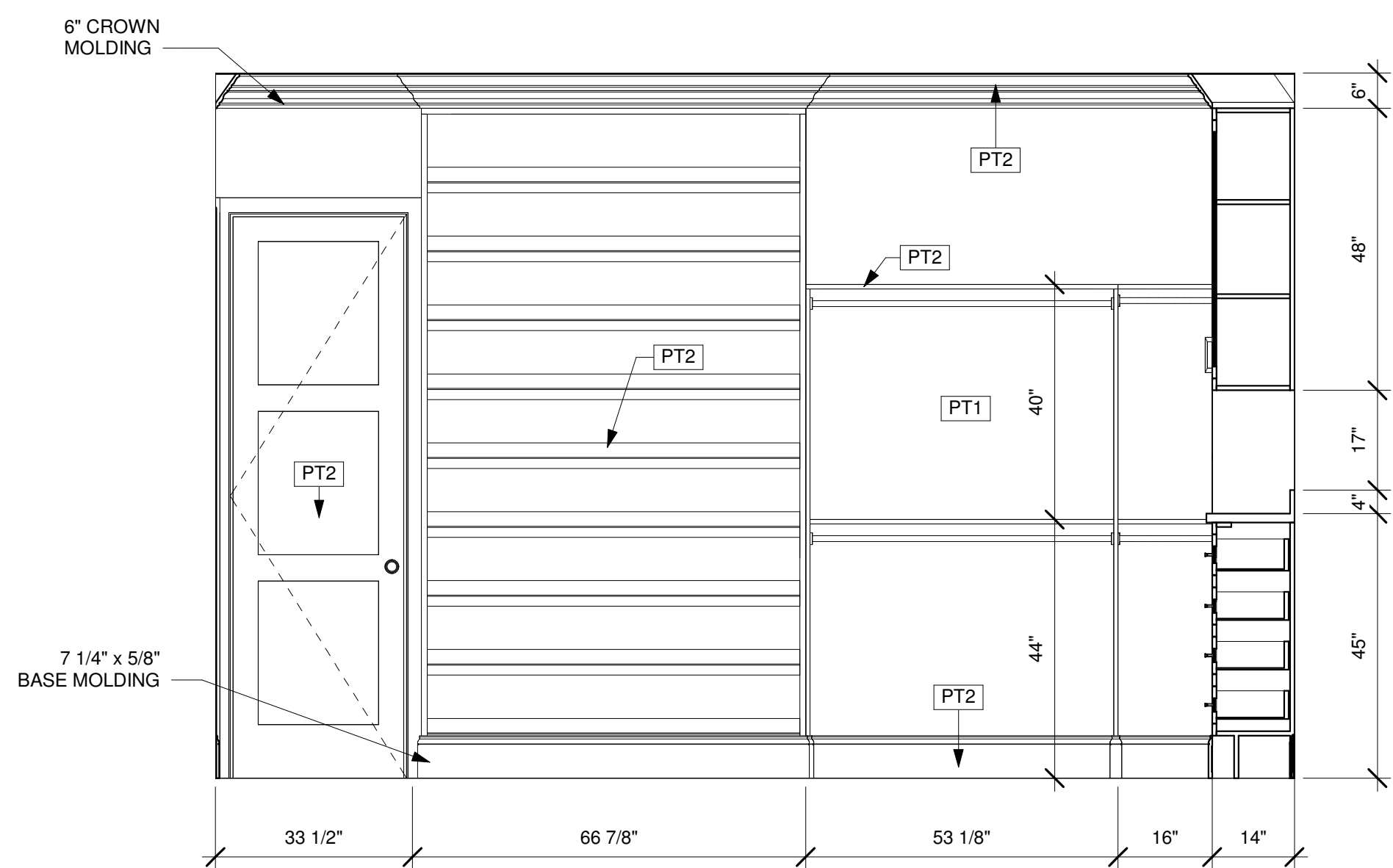
1 ENLARGED CLOSET FLOOR PLAN
3/8" = 1'-0"



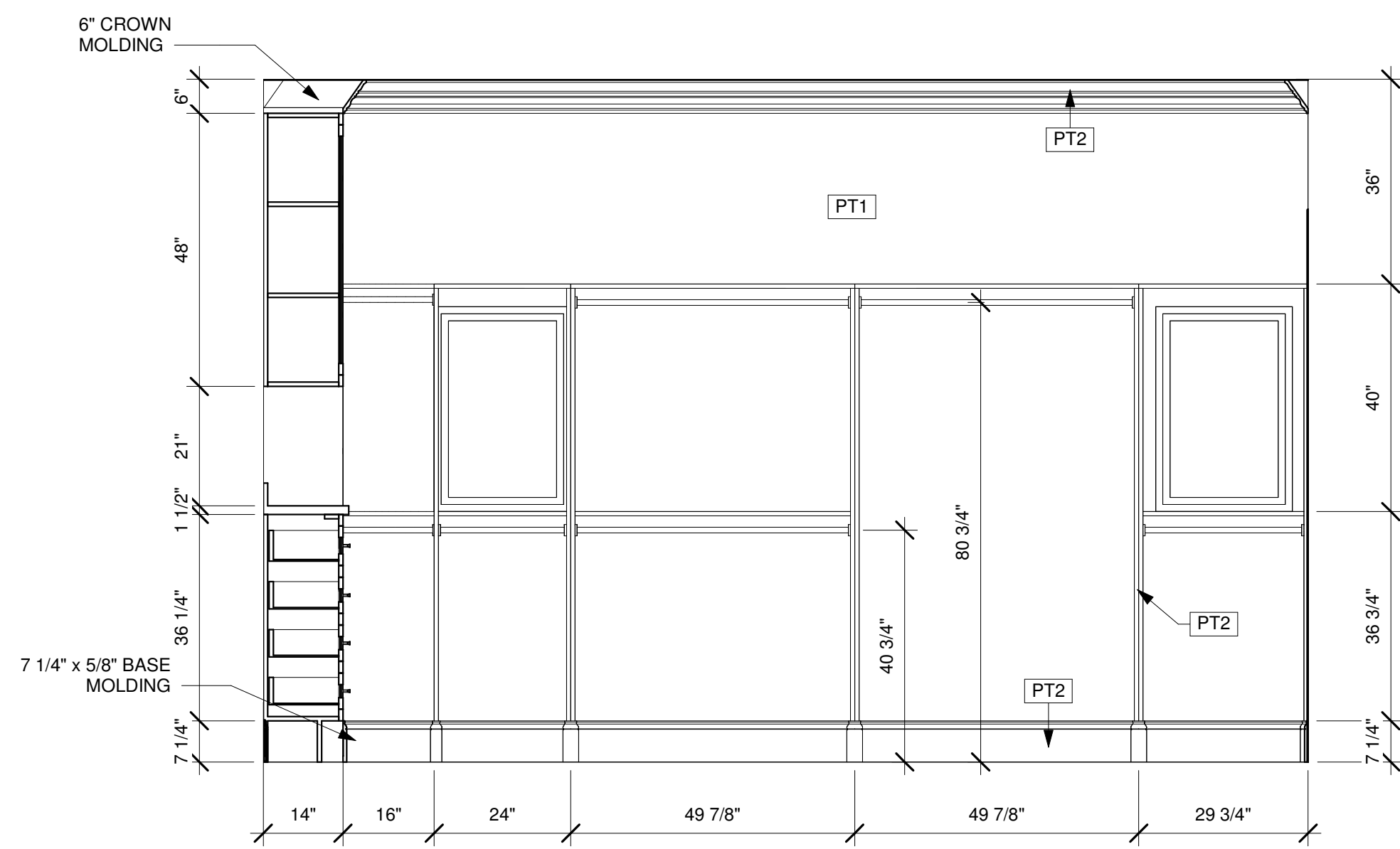
2 CLOSET NORTH ELEVATION
1/2" = 1'-0"



3 CLOSET SOUTH ELEVATION
1/2" = 1'-0"



4 CLOSET WEST ELEVATION
1/2" = 1'-0"



5 CLOSET EAST ELEVATION
1/2" = 1'-0"

NOTES:

1. ALL CROWN MOLDING TO BE WRAPPED AROUND WALLS AND CABINETS
2. ALL BASE MOLDING TO BE WRAPPED AROUND CLOSET SHELVING
3. ALL DOORS/DRAWERS TO BE FLUSH INSET
4. ALL CABINET DOORS TO BE 2" SHAKER DOORS IF APPLICABLE

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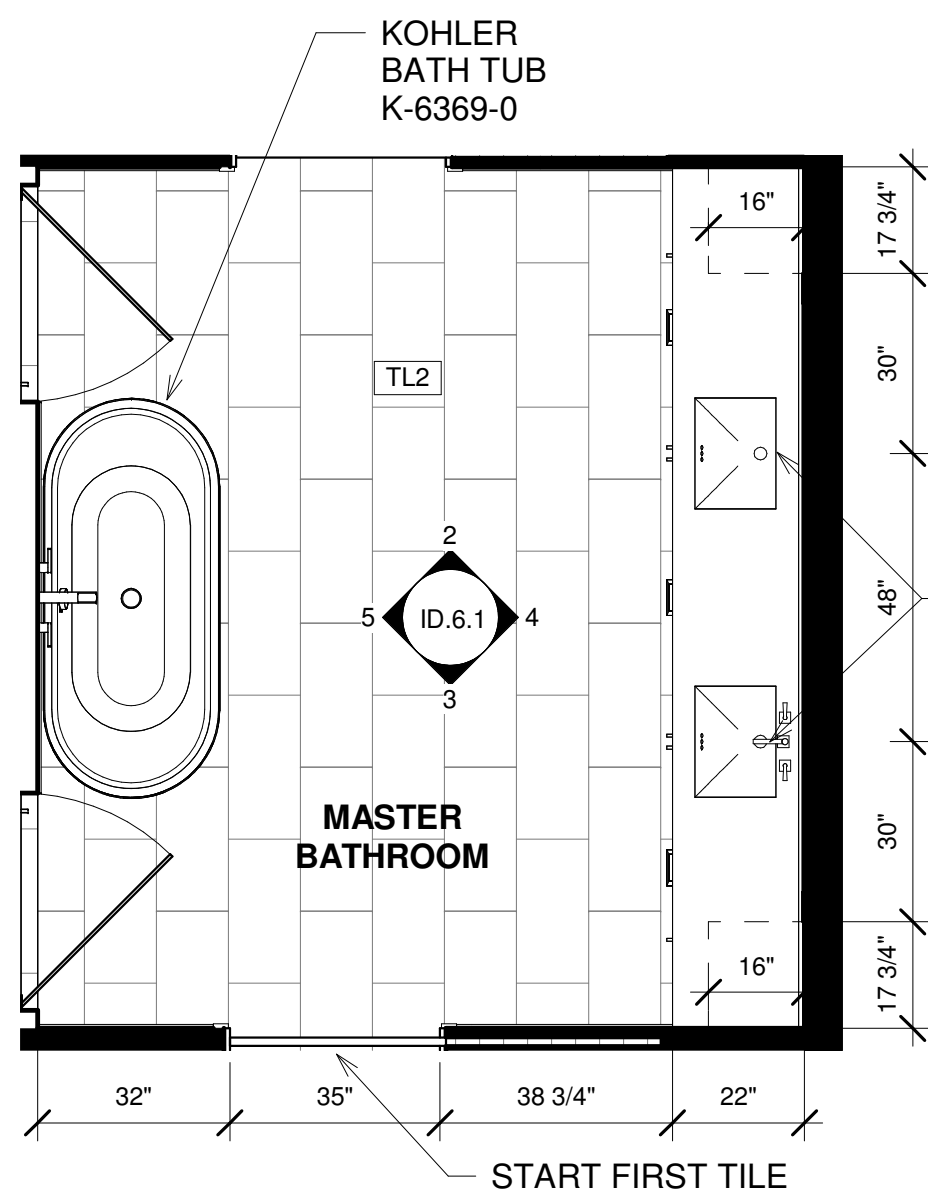
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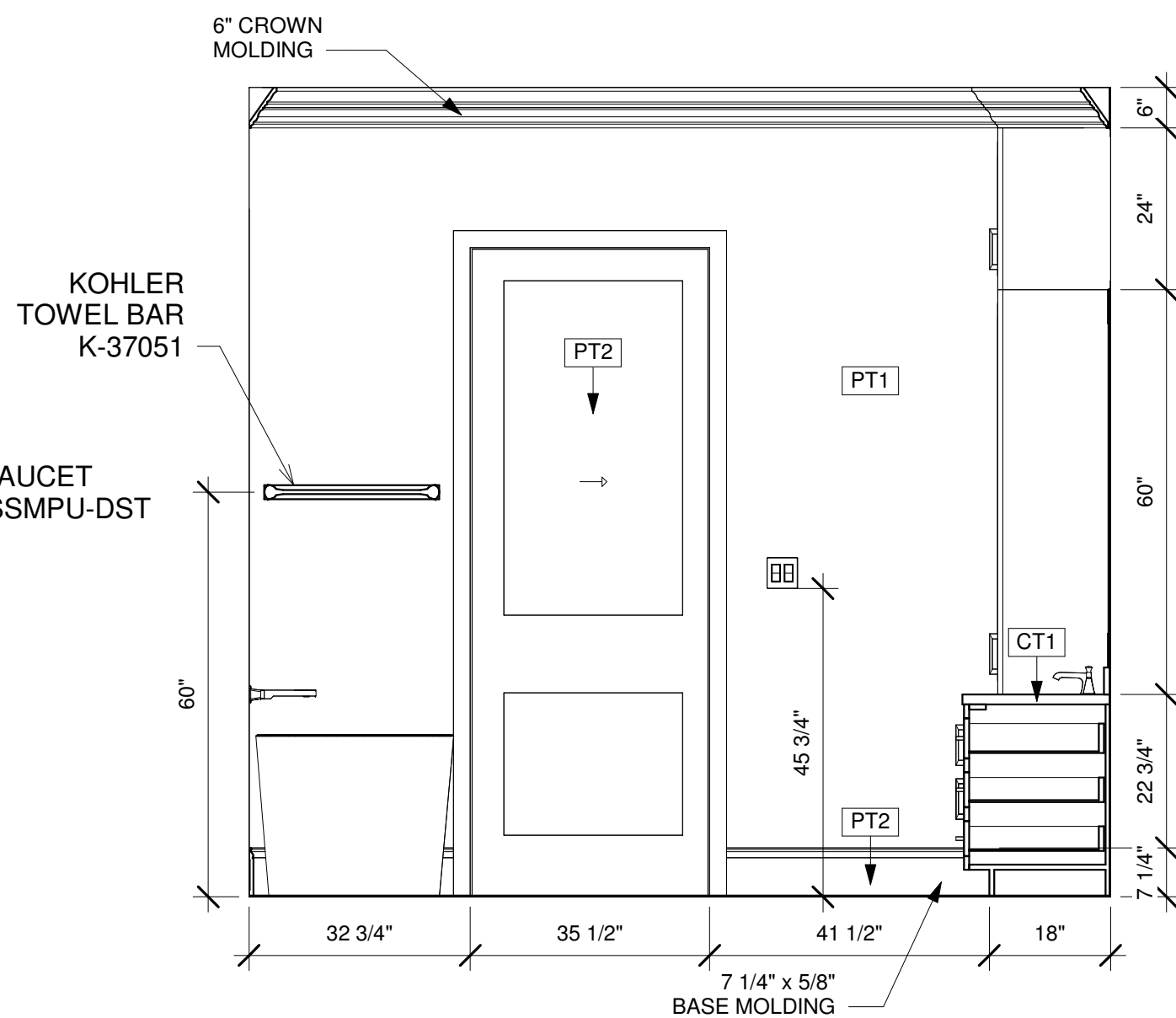
SHEET CONTENTS:
MASTER BATHROOM
ELEVATIONS

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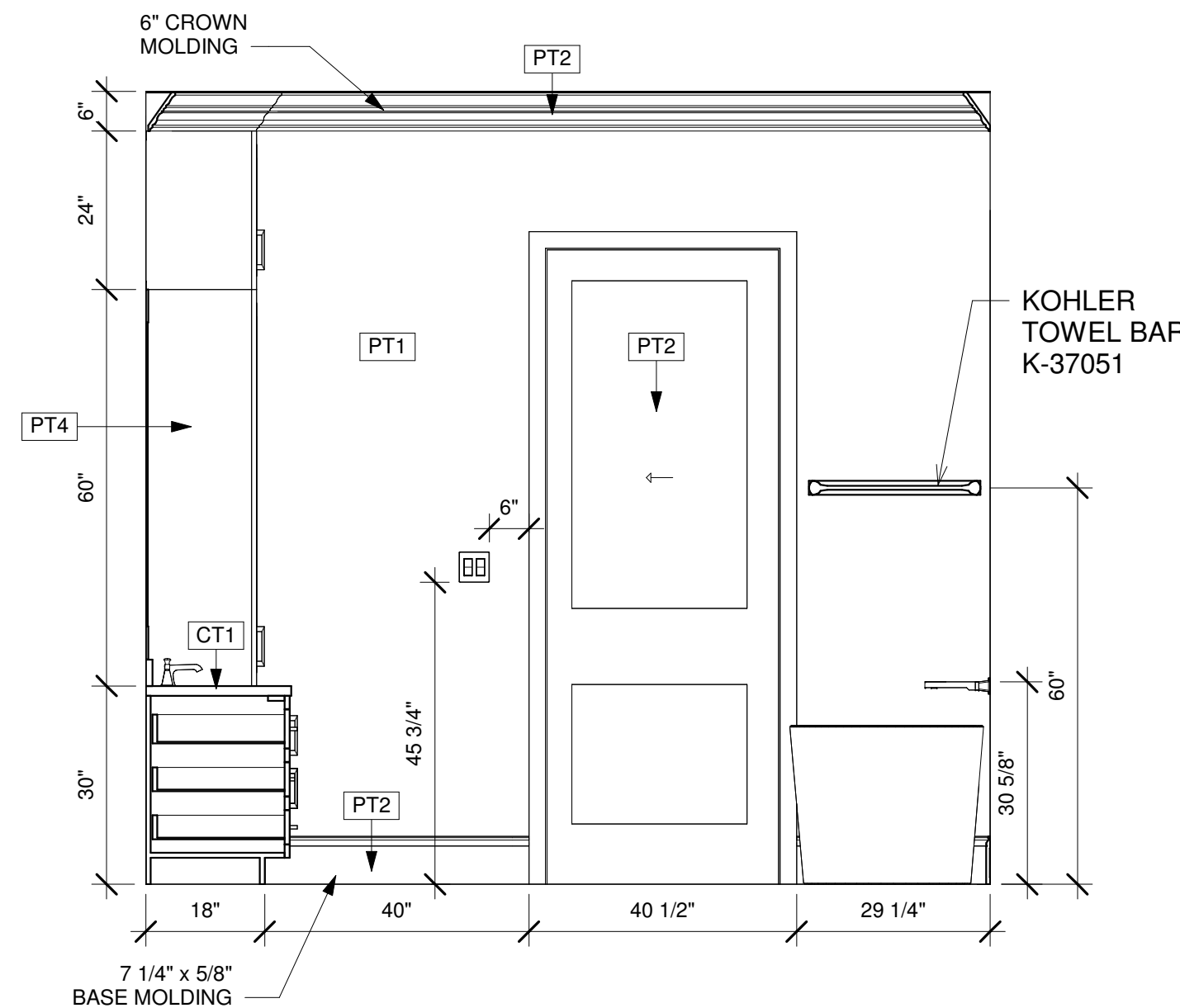
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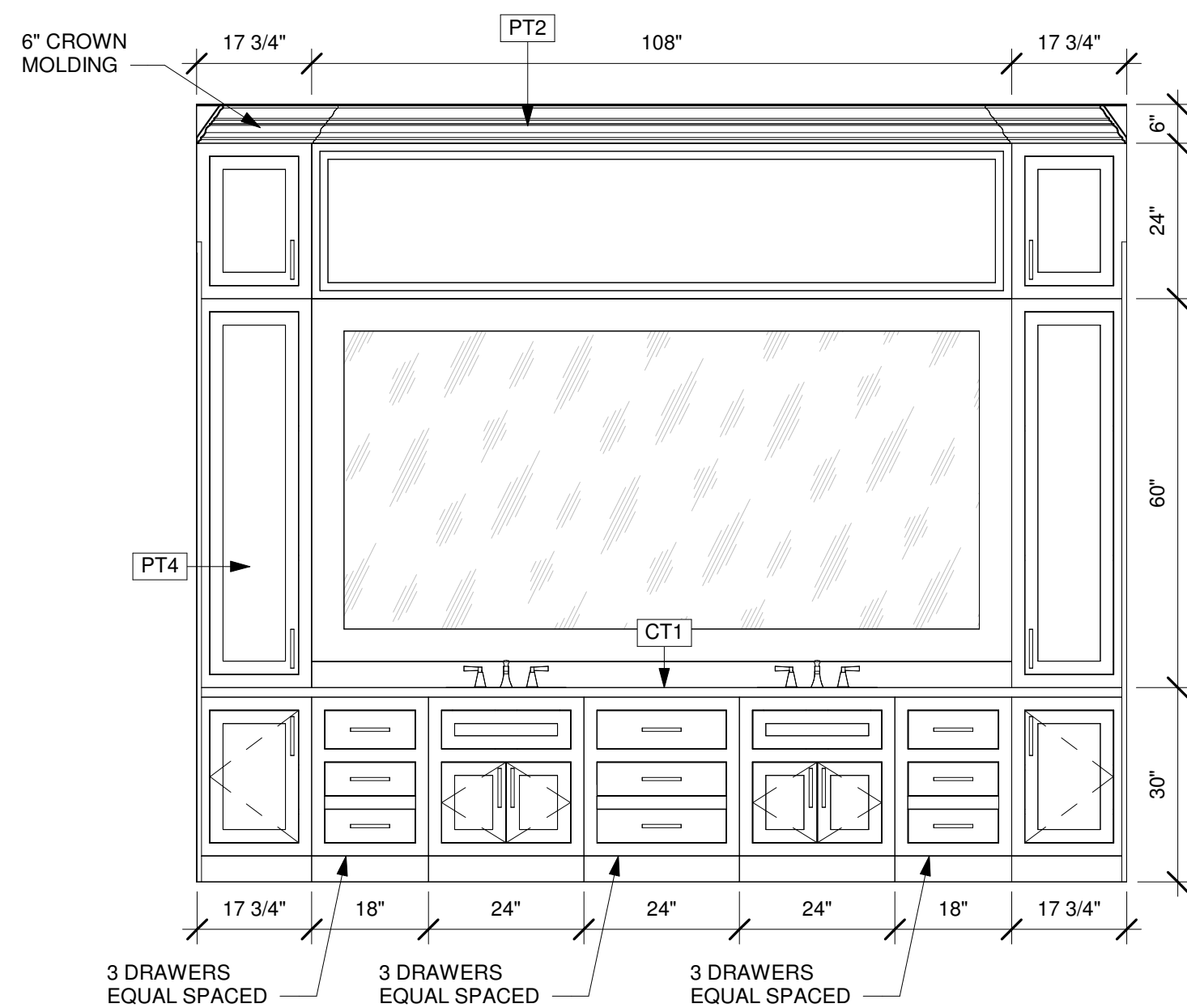
1 ENLARGED MASTER BATHROOM
3/8" = 1'-0"



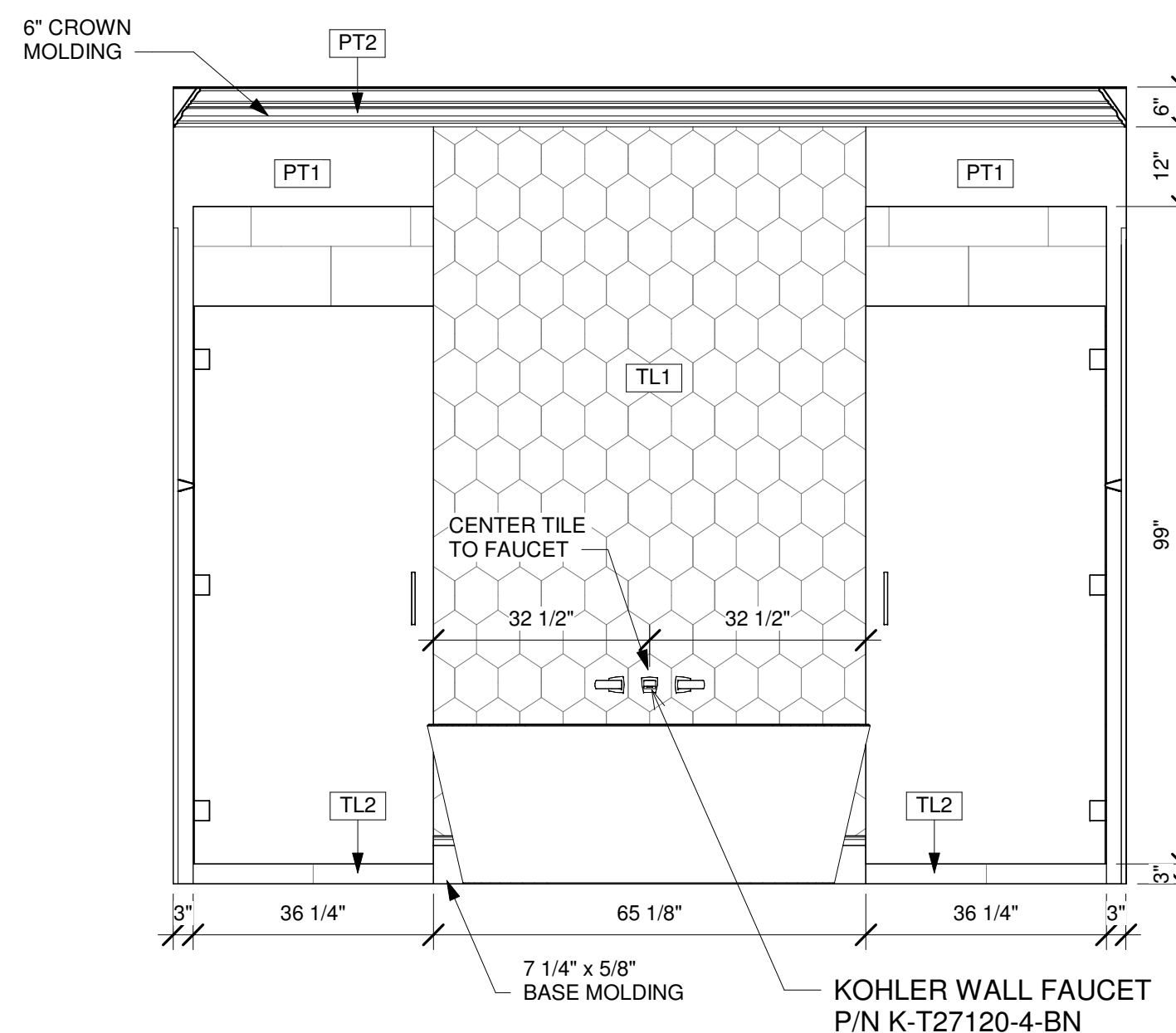
2 BATHROOM NORTH ELEVATION
1/2" = 1'-0"



3 BATHROOM SOUTH ELEVATION
1/2" = 1'-0"



4 BATHROOM EAST ELEVATION
1/2" = 1'-0"



5 BATHROOM WEST ELEVATION
1/2" = 1'-0"

- NOTES:**
1. ALL CROWN MOLDING TO BE WRAPPED AROUND WALLS AND CABINETS
 2. ALL DOORS/DRAWERS TO BE FLUSH INSET
 3. ALL CABINET DOORS TO BE 2" SHAKER DOORS IF APPLICABLE
 4. ALL CABINETS TO BE PAINTED SHERWIN WILLIAMS 6524 FLAT

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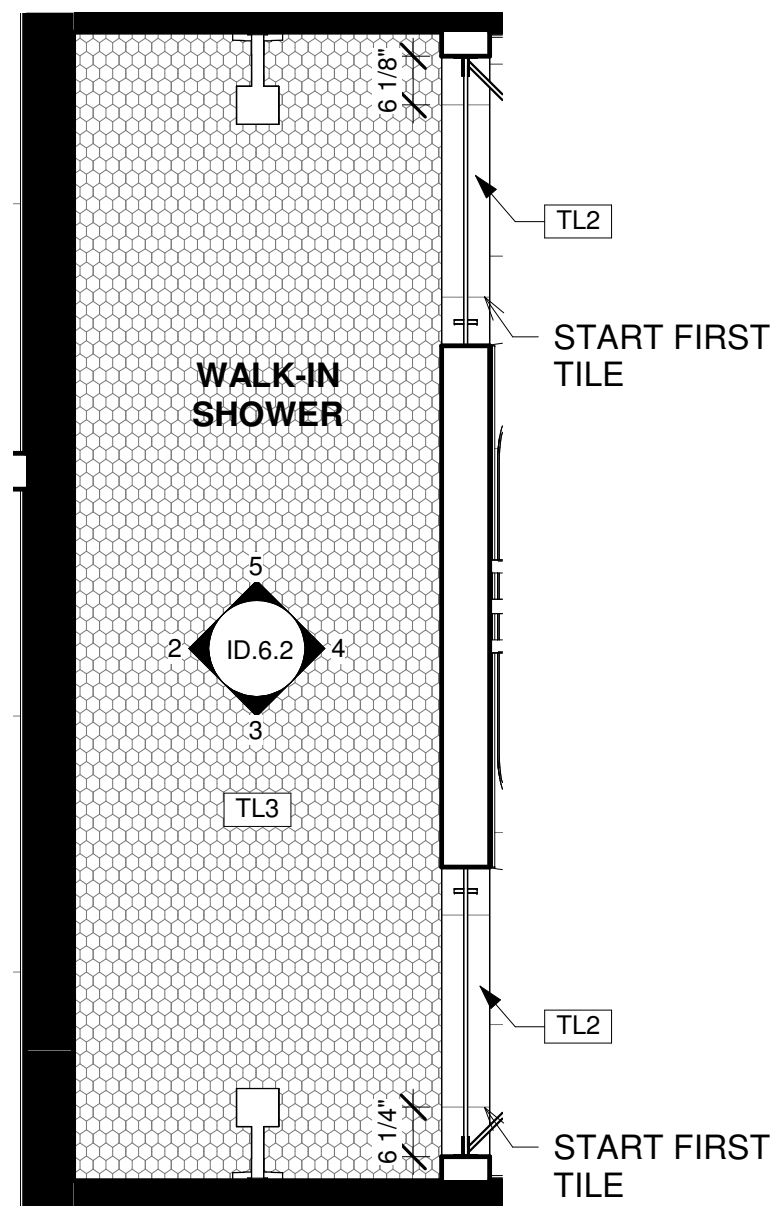
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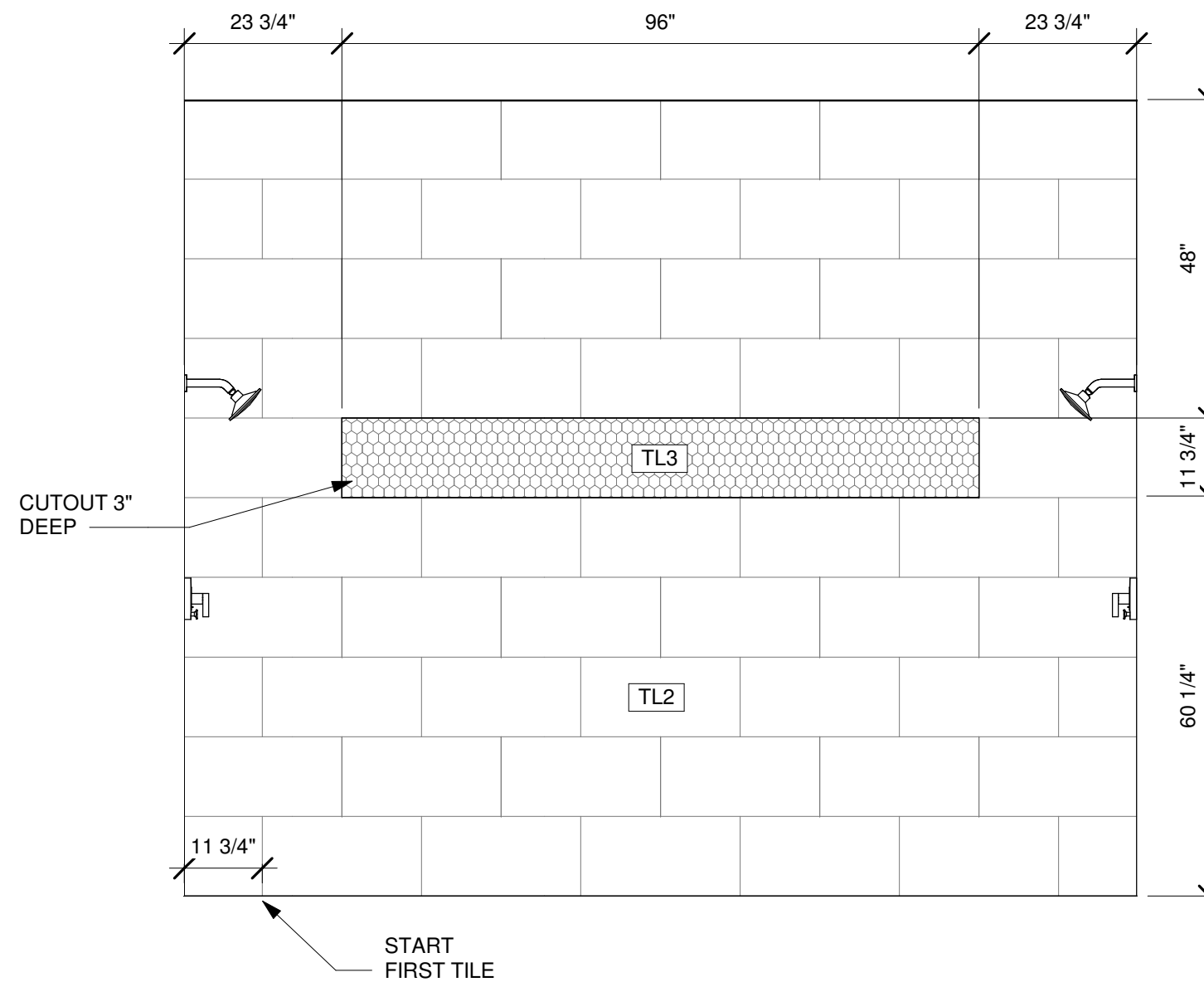
SHEET CONTENTS:
SHOWER
ELEVATIONS

SHEET:

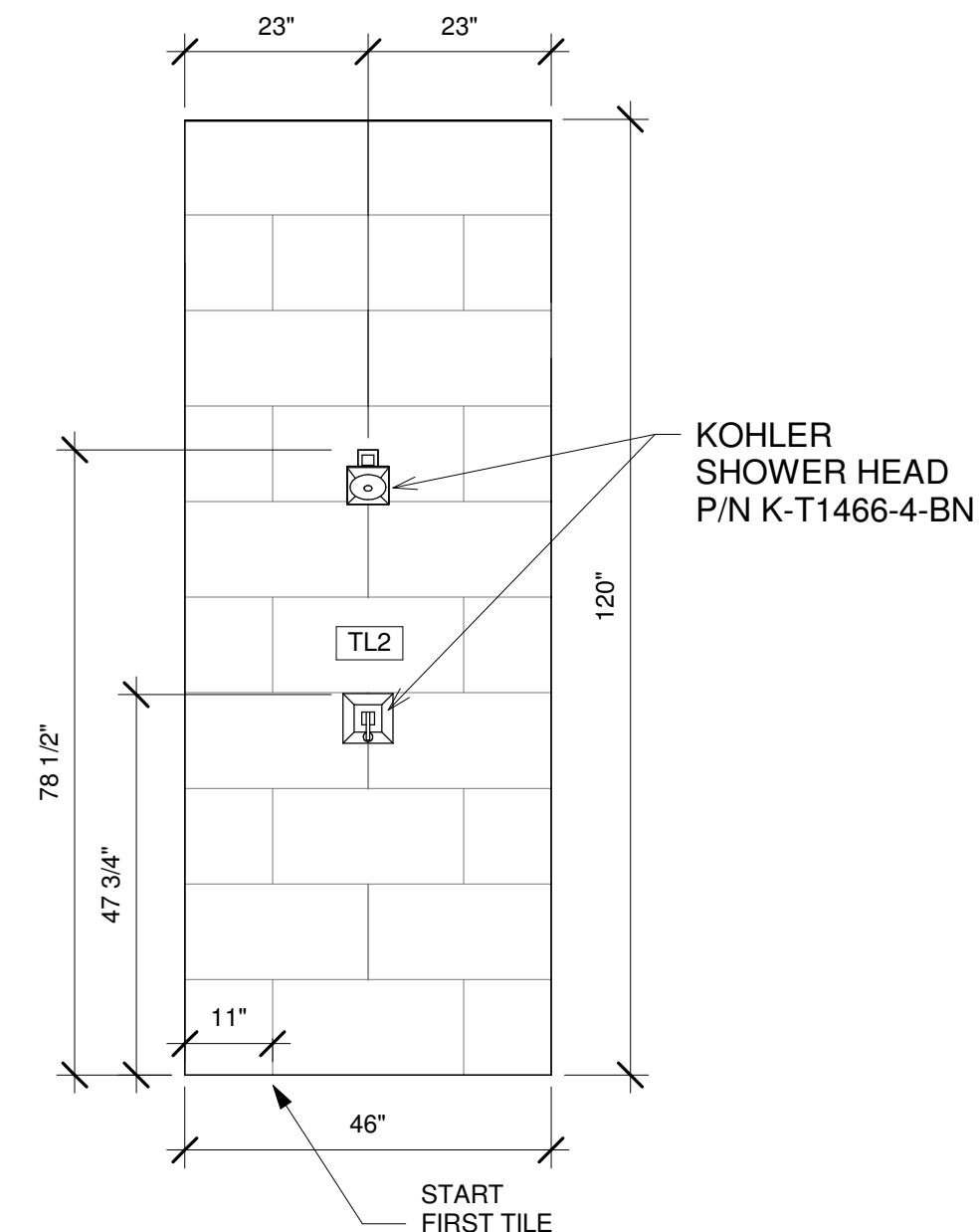
ID.6.2



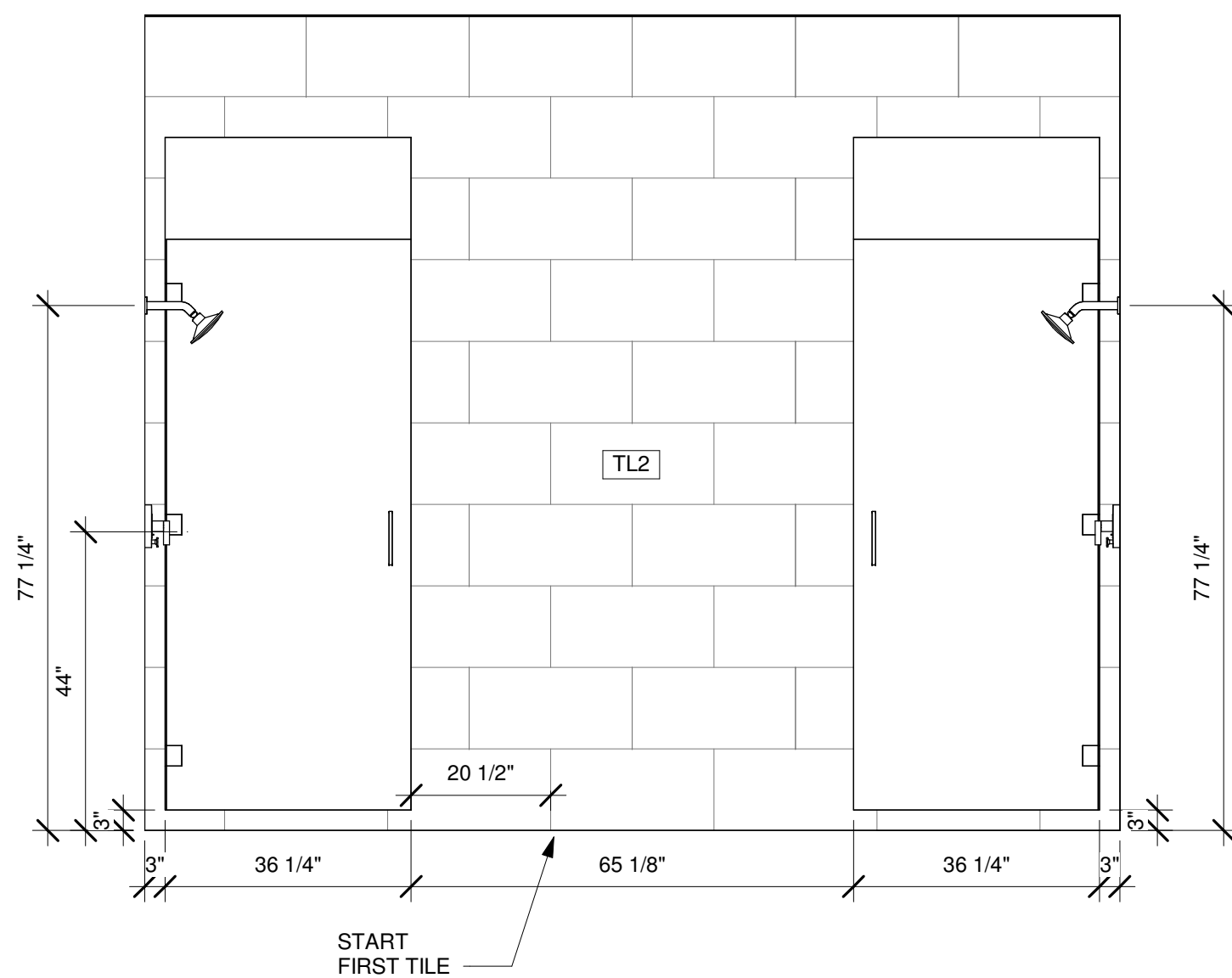
① ENLARGED SHOWER
1/2" = 1'-0"



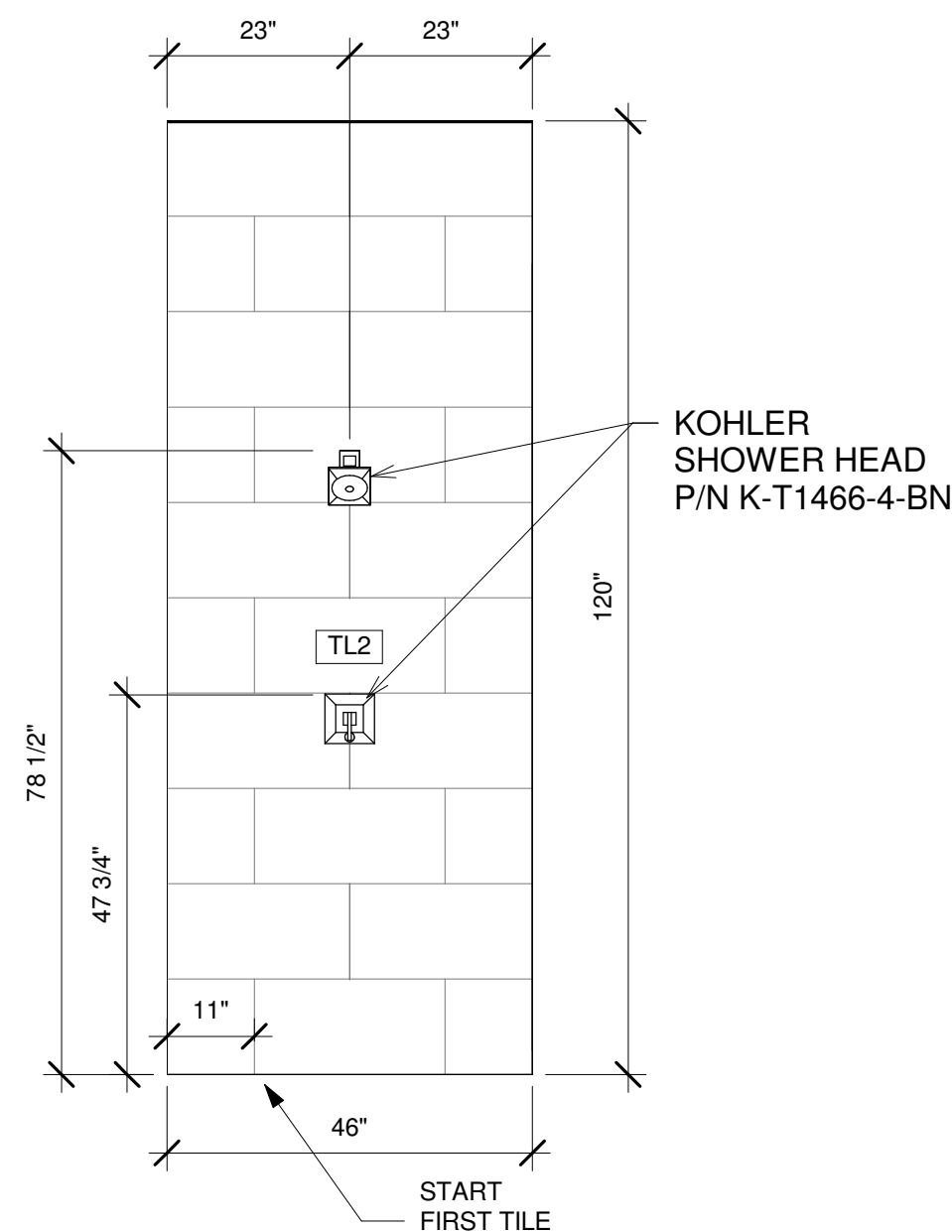
② SHOWER WEST ELEVATION
1/2" = 1'-0"



③ SHOWER SOUTH ELEVATION
1/2" = 1'-0"



④ SHOWER EAST ELEVATION
1/2" = 1'-0"



⑤ SHOWER NORTH ELEVATION
1/2" = 1'-0"

- NOTES:**
1. ALL CROWN MOLDING TO BE WRAPPED AROUND WALLS AND CABINETS
 2. ALL DOORS/DRAWERS TO BE FLUSH INSET
 3. ALL CABINET DOORS TO BE 2" SHAKER DOORS IF APPLICABLE

PRICE RESIDENCE
 18030 SOUTHEAST 42 PLACE,
 MORRISTON FL 32668

REVIT
 INDS 2405

REVISIONS

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DATE: 12-11-2022

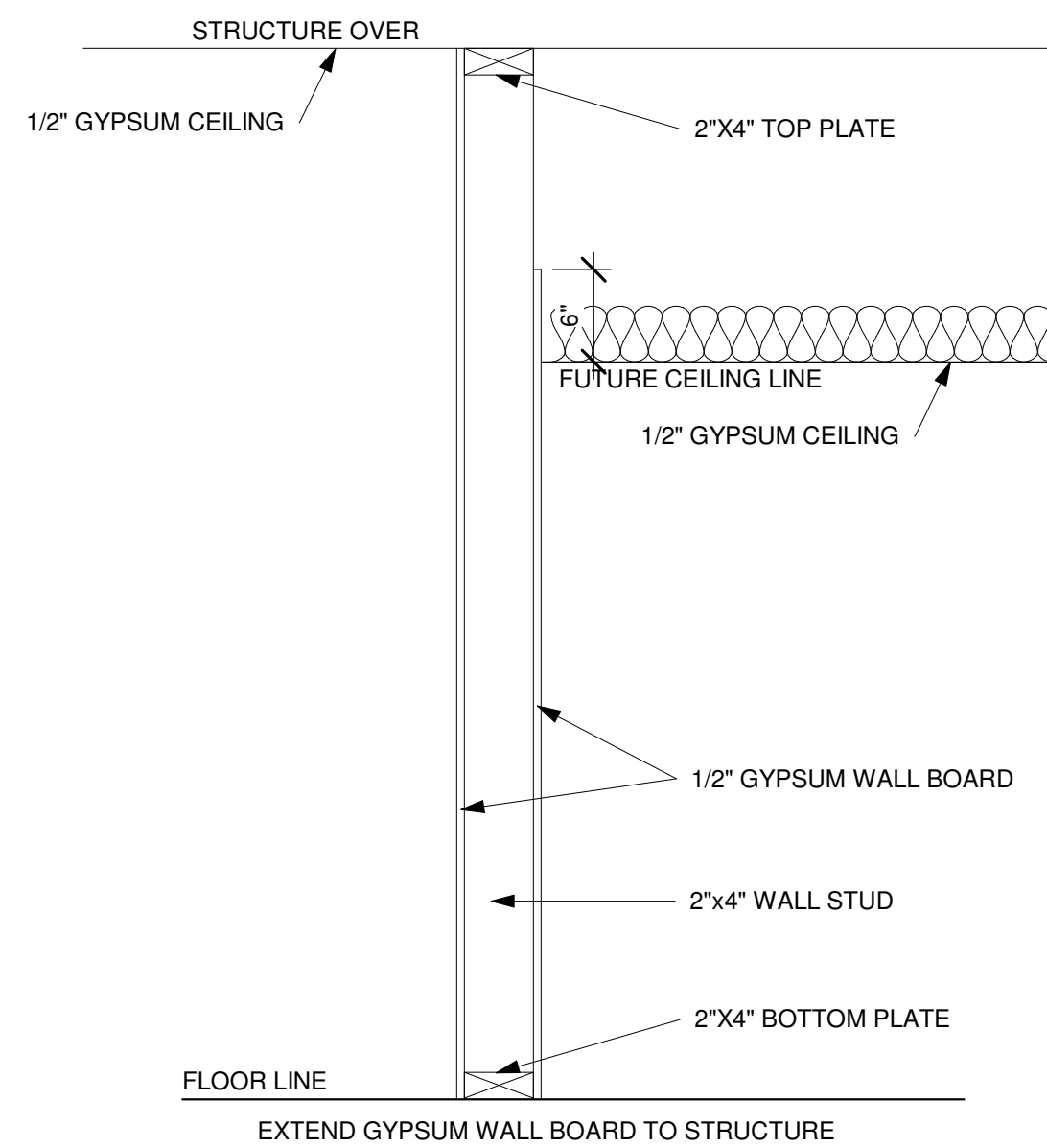
DRAFTED BY:

KATIE
 LAWRENCE

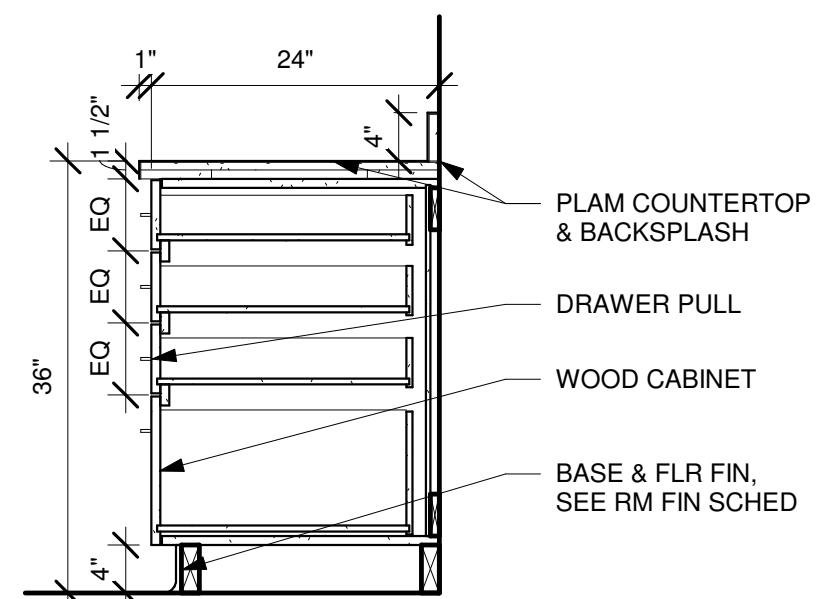
SHEET CONTENTS:
 DETAILS

SHEET:

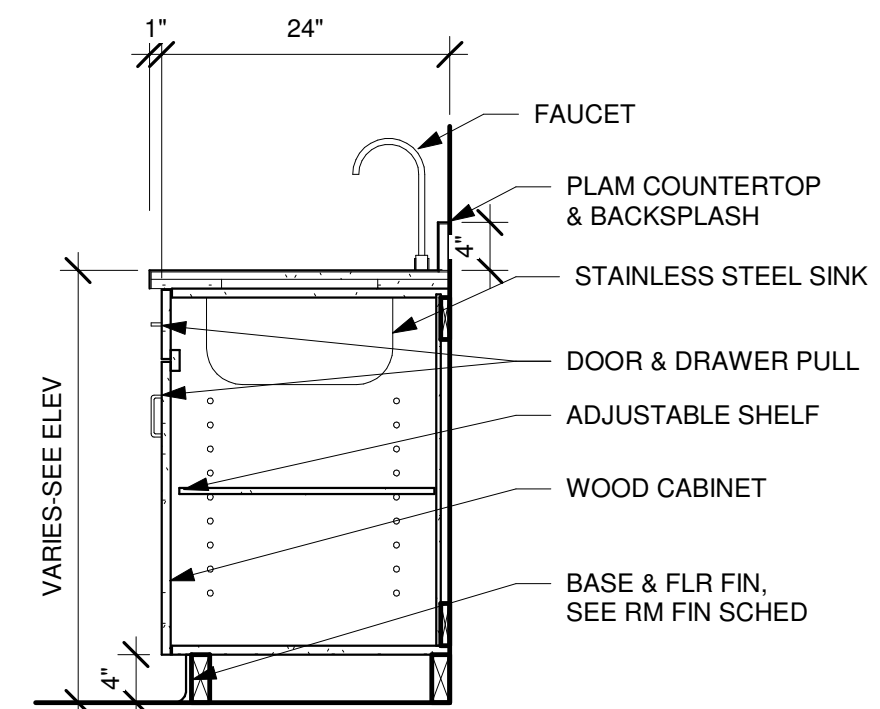
10.7



1 WALL PARTITION TYPE 1
 1" = 1'-0"



2 BASE CABINET DETAILS - TYP
 3/4" = 1'-0"



3 SINK CABINET DETAILS - TYP
 3/4" = 1'-0"

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REVISIONS

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SHEET CONTENTS:
LIVING ROOM VIEW

SHEET:

10.8





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REVIT
 INDS 2405

REVISIONS

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SHEET CONTENTS:
 KITCHEN VIEW

SHEET:

10.9



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REVIT
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REVISIONS

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4		
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1		

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SHEET CONTENTS:
DINING ROOM VIEW

SHEET:

10.10

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REVIT
INDS 2405

REVISIONS

6		
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4		
3		
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1		

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SHEET CONTENTS:
BATHROOM
CABINET VIEW

SHEET:

10.11



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REVIT
INDS 2405

REVISIONS

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SHEET CONTENTS:
TUB VIEW

SHEET:

10.12





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INDS 2405

REVISIONS

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SHEET CONTENTS:
CLOSET VIEW

SHEET:

10.13